

Change Order #1

Project: Academy of Alameda (Chipman) Playground Structure and ADA Upgrades

Date of Issuance:
06/17/2020

Owner: Alameda Unified School District
2060 Challenger Drive
Alameda, CA 94501

DSA App Number:
01-119030

Contractor: Rubecon Builders, Inc.
3450 3rd St, Ste 1B
San Francisco, CA 94124

DSA File Number:
1-1

Contract Date: October 13, 2020

NOT VALID UNTIL APPROVED BY BOARD OF TRUSTEES AND SIGNED BY, DISTRICT AND CONTRACTOR.
This change order includes all related costs and time required for approved scope.

Total Change Order No. 1

TOTAL \$ 13,558.00

The original Contract Sum was	\$	277,191.00
Net change by previous authorized Change Orders.....	\$	0.00
The Contract Sum prior to this Change Order was	\$	277,191.00
The Contract Sum will be (increased) (decreased) (unchanged) by this Change Order in the amount of ..	\$	13,558.00
The new Contract Sum including this Change Order will be.	\$	290,749.00
The Contract Time will be (increased) (decreased) (unchanged) by.		(5) days
The date of Substantial Completion as of the date of this Change Order therefore is.		2/19/2021

Shah Kawasaki Architects, Inc.
57010th Street #201
Oakland, CA 94607

Rubecon Builders, Inc.
3450 3rd Street, Ste 1B
San Francisco, CA 94124

Alameda Unified School District
2060 Challenger Drive
Alameda, CA 94501

Date: 02/11/2021

Signature:



Name: Austin McNaughton

Title: Architect

Date: 02/11/2021

Signature:



Name: German Duran

Title: Project Manager

Date: Feb 17, 2021

Signature:  Robbie Lyng (Feb 17, 2021 13:13 PST)

Name: Robbie Lyng

Title: Senior Director of Construction

Date: Feb 12, 2021

Signature:  Shariq Khan (Feb 12, 2021 12:06 PST)

Name: Shariq Khan

Title: CBO

Date: _____

Signature: _____

Name: Mialisa Bonta

Title: Board President

Change Order #1

Potential Change Orders in this Change Order:

PCO #	Description	Schedule Impact	Amount
001	Weekend Grading (PCO not pursued)	n/a	\$ 0.00
002	Added Asphalt Scope – Due to Tripping Hazard (Option #2)	No Schedule Impact	\$ 7,560.00
003	Staff Parking Stall Marking	No Schedule Impact	\$ 2,049
004	New Anti-Backflow Valve and Relocation – Valve replaced/ relocated to account for new van accessible parking stall and aisle location.	No Schedule Impact	\$ 3,949
		Total:	\$13,558

COST BREAKDOWN FORM FOR CONTRACT MODIFICATIONS
THIS FORM SHALL BE USED FOR ALL CHANGES TO THE CONTRACT

One separate form shall be used by the Contractor, each first tier subcontractor and each lower tier subcontractor.

PCO #: 02 **Date:** 12/11/2020 **Project No.:** 200531

Name of Contractor / Subcontractor: Rubecon Builders, Inc.

Description of Change:

OPTION #1: VOIDED

~~Option #1: Remediate ~100 sqft of broken asphalt. includes demolition, grading, asphalt. (Not recommended by Silicon Concrete)~~

PCO SUMMARY

				Revisions/Comments
1. Labor Costs (see detail below)		\$0		
2. Materials (see detail below)		\$0		
3. Rental Equipment (see detail below)		\$0		
4. SUBTOTAL (ADD LINES 1 - 3)			\$0	
5. Subcontractor Mark-Up - Equipment and Materials	15% of Lines 2 & 3	\$0		
6. Lower Tier Subcontractor/Supplier/Specialist Costs		\$3,200		
7. Mark-up	5% of Line 6	\$160		
8. SUBTOTAL (ADD LINES 4 - 7)			\$3,360	
9. Sub Bond			\$0	
10. TOTAL COST (ADD LINES 8 - 9)			\$3,360	

RUBECON LABOR

NAME	CLASSIFICATION	HOURS	RATE	TOTAL
				\$0
				\$0
				\$0
TOTAL LABOR COSTS				\$0

RUBECON MATERIALS

DESCRIPTION	UNIT TYPE	QTY	UNIT COST	EXTENDED TOTAL
				\$0
				\$0
				\$0
TOTAL MATERIAL COSTS (INCLUDES TAX AND/OR SHIPPING)				\$0

RUBECON EQUIPMENT RENTAL

SIZE AND TYPE	I.D. #	Weeks	RATE	TOTAL
				\$0
				\$0
				\$0
TOTAL EQUIPMENT RENTAL COSTS				\$0

SUBCONTRACTOR

DESCRIPTION		COST
Option 1: Silicon Concrete - Demolition, Grading, Asphalt Paving (Not Recommended)		\$3,200
TOTAL LOWER TIER SUB COSTS		\$3,200

COST BREAKDOWN FORM FOR CONTRACT MODIFICATIONS
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PCO #: 02 **Date:** 12/11/2020 **Project No.:** 200531

Name of Contractor / Subcontractor: Rubecon Builders, Inc.

Description of Change:

Option #2: Remediate ~530 sqft of broken asphalt. Includes demolition, grading, asphalt.

PCO SUMMARY				Revisions/Comments
1. Labor Costs (see detail below)		\$0		
2. Materials (see detail below)		\$0		
3. Rental Equipment (see detail below)		\$0		
4. SUBTOTAL (ADD LINES 1 - 3)			\$0	
5. Subcontractor Mark-Up - Equipment and Materials	15% of Lines 2 & 3	\$0		
6. Lower Tier Subcontractor/Supplier/Specialist Costs		\$7,200		
7. Mark-up	5% of Line 6	\$360		
8. SUBTOTAL (ADD LINES 4 - 7)			\$7,560	
9. Sub Bond			\$0	
10. TOTAL COST (ADD LINES 8 - 9)			\$7,560	

RUBECON LABOR

NAME	CLASSIFICATION	HOURS	RATE	TOTAL
				\$0
				\$0
				\$0
TOTAL LABOR COSTS				\$0

RUBECON MATERIALS

DESCRIPTION	UNIT TYPE	QTY	UNIT COST	EXTENDED TOTAL
				\$0
				\$0
				\$0
TOTAL MATERIAL COSTS (INCLUDES TAX AND/OR SHIPPING)				\$0

RUBECON EQUIPMENT RENTAL

SIZE AND TYPE	I.D. #	Weeks	RATE	TOTAL
				\$0
				\$0
				\$0
TOTAL EQUIPMENT RENTAL COSTS				\$0

SUBCONTRACTOR

DESCRIPTION		COST
Option 2: Silicon Concrete - Demolition, Grading, Asphalt Paving		\$7,200
TOTAL LOWER TIER SUB COSTS		\$7,200



SILICON CONCRETE CO.

License #1042847

"whatever it takes"

Email: estimating@siliconconcrete.com

Phone number: 510.503.1751

Website: www.siliconconcrete.com

CUSTOMER	Rubecon Builders Inc. Estimating	Date:
ATTN		8/31/2020
JOB	Academy of Alameda Play Structure	

We propose hereby to furnish materials and labor necessary for the completion of:

LOCATION	Scope: As per plans dated 5/26/2020, specifications and addendum #1	\$ PRICE
Option #1	<ul style="list-style-type: none">- Sawcut and remove existing asphalt. 94 SQ FT.- supply and install asphalt paving per plans.- this option is not recommended by silicon.	\$3,200.00 OPTION #1: VOIDED
Option #2	<ul style="list-style-type: none">- Sawcut and remove existing asphalt. 531 SQ FT.- Supply and install asphalt paving per plans.	\$7,200.00
TOTAL		\$7,200.00

***SEE EXHIBIT ATTACHED SHOWING EXTENT OF WORK AS HIGHLIGHTED

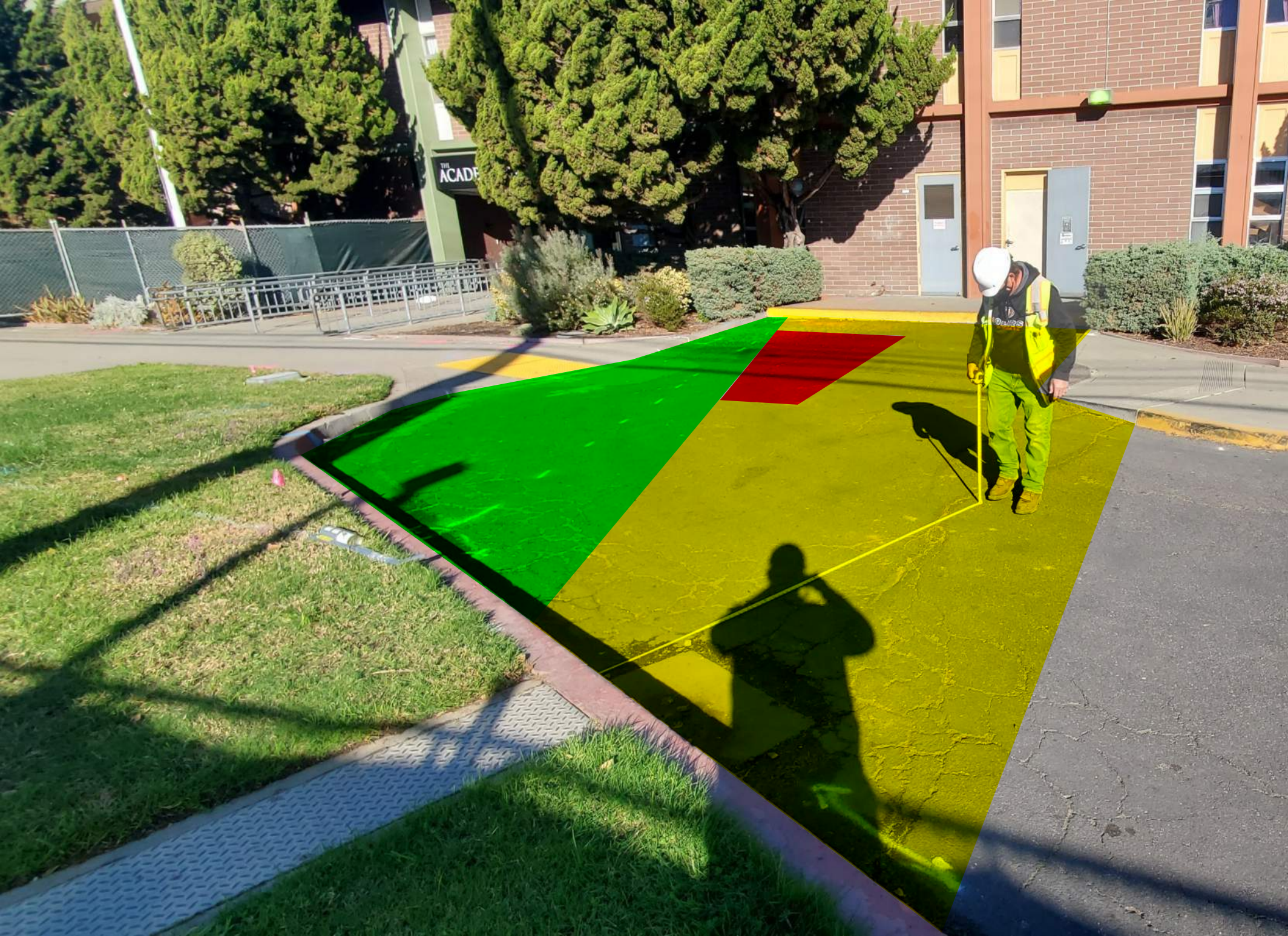
Exclusions: tests, inspections, permit fees and bonds, special inspection, work not mentioned above, embedded columns, shoring, landscaping, irrigation, and waterproofing.

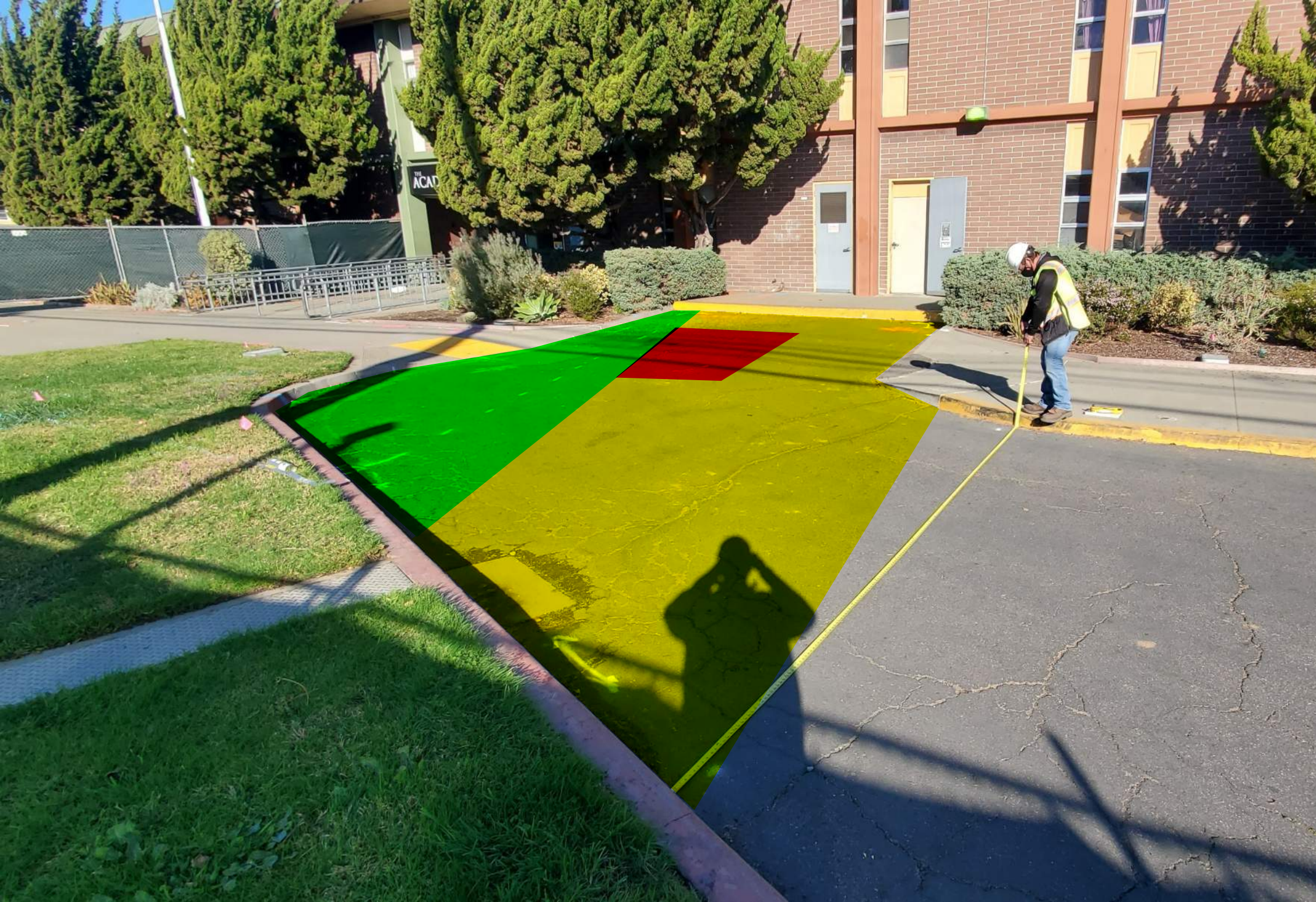
Conditions: bid proposals are good for 30 days from date generated. All work to be performed during normal business hours. Premium time to be approved and paid by others. Silicon bid proposal to be considered a part of any contracts. Complete site access to be provided by others along with water, power, and sanitary facilities.

Thank you, Tariq Abulawi 510.305.1751

Grant Project Number: 20704

SKA Project Number: 20704

















COST BREAKDOWN FORM FOR CONTRACT MODIFICATIONS
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PCO #: 3 Date: 1/27/2021 Project No.: 200531

Name of Contractor / Subcontractor: Rubecon Builders, Inc.

Description of Change:

Add "STAFF PARKING" to 5 adjacent parking stalls at front parking lot. Text in white with 12" lettering.

PCO SUMMARY				Revisions/Comments
1. Labor Costs (see detail below)		\$0		
2. Materials (see detail below)		\$0		
3. Rental Equipment (see detail below)		\$0		
4. SUBTOTAL (ADD LINES 1 - 3)			\$0	
5. Mark-Up - Equipment and Materials	20% of Lines 2 & 3	\$0		
6. Subcontractor/Supplier/Specialist Costs		\$1,933		
7. Mark-up	6% of Line 6	\$116		
8. SUBTOTAL (ADD LINES 4 - 7)			\$2,049	
9. Sub Bond			\$0	
10. TOTAL COST (ADD LINES 8 - 9)			\$2,049	

RUBECON LABOR

NAME	CLASSIFICATION	HOURS	RATE	TOTAL
				\$0
				\$0
				\$0
TOTAL LABOR COSTS				\$0

RUBECON MATERIALS

DESCRIPTION	UNIT TYPE	QTY	UNIT COST	EXTENDED TOTAL
				\$0
				\$0
				\$0
TOTAL MATERIAL COSTS (INCLUDES TAX AND/OR SHIPPING)				\$0

RUBECON EQUIPMENT RENTAL

SIZE AND TYPE	I.D. #	Weeks	RATE	TOTAL
				\$0
				\$0
				\$0
TOTAL EQUIPMENT RENTAL COSTS				\$0

SUBCONTRACTOR

DESCRIPTION		COST
Monticelli Painting: Add "STAFF PARKING" to 5 adjacent parking stalls at front parking lot		\$1,933
TOTAL LOWER TIER SUB COSTS		\$1,933



Cal. Lic. 531537

Potential Change Order #1

To:	Connie Melovich	From:	Brian Vargas
Company:	Rubecon Builders, Inc.	Date:	January 19, 2020
Client Job #:	200531	Pages:	1
Project:	Academy of Alameda Play Structure	Address:	401 Pacific Ave, Alameda, CA 94501
Plans Dated:	26 MAY 2020	Addendum Noted:	PCO #3

Scope of Work: We propose to supply the supervision, union labor and materials for the preparation, and wall covering of this project on regular time. Work to include:

- Paint "STAFF PARKING" in 12 inch letters at 5 parking stalls:

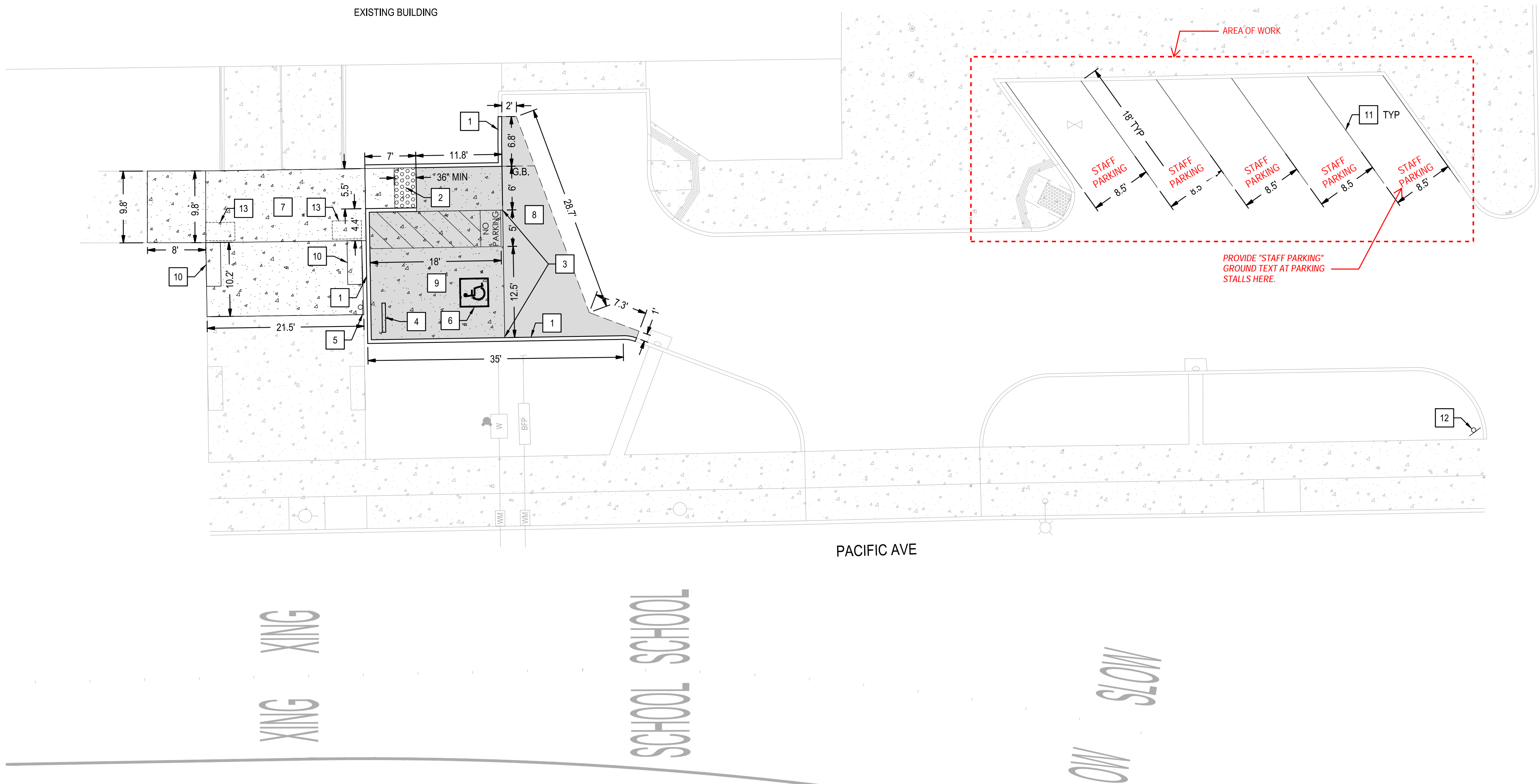
- Labor & Material: \$ 1,932.95

Total: \$ 1,932.95

Add Alternates: n/a

Exclusions: Overtime

• Painting • Performance Coatings • Waterproofing • Intumescent Fireproofing •
• Wall-covering • Acoustical Panels • Fabric Panels • Partition Shields •



LEGEND

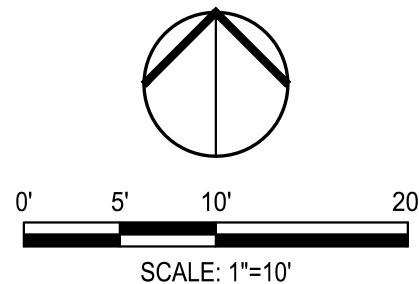
- ASPHALT DEEPLIFT
8" HOT MIX ASPHALT TYPE A DEEPLIFT OVER 6"
SUBGRADE COMPACTED TO 95% R.C.
- TRUNCATED DOMES
TRUNCATED DOMES COMPLYING WITH CBC 11B-705.
- CONCRETE
5" CONCRETE (3,000 PSI) W/ #3 BARS @ 24" O.C. E.W. OVER 4" CLASS
II AGGREGATE BASE OVER 6" SUBGRADE COMPACTED TO 95% R.C.
- VEHICULAR CONCRETE
6" CONCRETE (4,000 PSI) OVER 6" CLASS II AGGREGATE BASE
OVER 6" SUBGRADE COMPACTED TO 95% R.C.

KEY NOTES

- INSTALL VERTICAL CONCRETE CURB PER DETAIL 3, SHEET C4.1
- INSTALL TRUNCATED DOMES PER DETAIL 2, SHEET C4.1
- INSTALL ACCESSIBLE PARKING STALL AND ACCESS ISLE
PER DETAIL 3, SHEET C4.0
- INSTALL TIRE STOP PER DETAIL 1, SHEET C4.1
- INSTALL ACCESSIBLE PARKING SIGNAGE PER DETAIL 4, SHEET C4.1
- INSTALL ACCESSIBLE PARKING PAVEMENT SYMBOL
PER DETAIL 2, SHEET C4.0
- INSTALL CONCRETE PAVEMENT PER LEGEND
- INSTALL ASPHALT DEEPLIFT PER LEGEND
- INSTALL VEHICULAR CONCRETE PAVEMENT PER LEGEND
- INSTALL BENCH PER ARCHITECTURAL PLANS
- INSTALL 4" WHITE THERMOPLASTIC STRIPING
- INSTALL ENTRY TOW AWAY SIGN PER DETAIL 5, SHEET C4.1
- 30"x48" WHEELCHAIR ACCESSIBLE SPACE

GENERAL PAVING AND DIMENSIONING NOTES:

- ALL MATERIAL AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THE PROJECT SHALL CONFORM TO ALL APPLICABLE CITY OF ALAMEDA STANDARD SPECIFICATIONS (LATEST EDITION).
- CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY QUESTION THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
 - ALL DIMENSIONS ARE TO TOP/FACE OF CURB, FACE OF BUILDING, CENTER OF PAINT STRIPING OR PERPENDICULAR TO THE PROPERTY LINE. CONTRACTOR SHALL VERIFY DIMENSIONS MATCH STRUCTURAL AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITIONS, ANY DAMAGE DONE TO EXISTING UTILITIES, FENCE, PAVEMENT, CURBS, DRIVEWAYS OR SIDEWALKS TO REMAIN (NO SEPARATE PAY ITEM).
 - THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
 - REFER TO SITE PAVING PLAN, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, IRRIGATION AND LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
 - SEE CIVIL DETAIL SHEET FOR APPLICABLE DETAILS.
 - REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - THE CONTRACTOR SHALL VERIFY ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
 - ALL EQUIPMENT AND FOUNDATIONS BY SEPARATE PERMIT, SHOWN FOR REFERENCE ONLY.
 - CONCRETE JOINT PER DETAIL 4, ON SHEET C4.0



NOTE: If this drawing is not 34"x22" it has been revised from its original size and the scales noted on drawing/details are no longer applicable.

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NO.	DATE	ISSUE DESCRIPTION
1	05/26/2020	DSA OTC REVIEW - ACS & FLS

ACADEMY OF ALAMEDA PLAY STRUCTURE

401 PACIFIC AVE, ALAMEDA, CA 94501

Architect of Record
SHAH KAWASAKI
ARCHITECTS
570 18th Street, Suite 201
Oakland, CA 94607

Consultant
SIEGFRIED
2020-05-26-2020-06-17
2020-05-26-2020-06-17
2020-05-26-2020-06-17

REGISTERED PROFESSIONAL ENGINEER
SHAH KAWASAKI
No. 76526
Exp. 12/31/20
CIVIL
STATE OF CALIFORNIA

Drawing Title
SITE & PAVING PLAN I

Drawing No.
C2.0

DATE SIGNED: 06/03/20

SKA Project Number: 20704



Know what's below.
Call before you dig.

COST BREAKDOWN FORM FOR CONTRACT MODIFICATIONS
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PCO #: 4 Date: 2/3/2021 Project No.: 200531

Name of Contractor / Subcontractor: Rubecon Builders, Inc.

Description of Change:

Install a Backflow Prevention Device

PCO SUMMARY				Revisions/Comments
1. Labor Costs (see detail below)		\$0		
2. Materials (see detail below)		\$0		
3. Rental Equipment (see detail below)		\$0		
4. SUBTOTAL (ADD LINES 1 - 3)			\$0	
5. Subcontractor Mark-Up - Equipment and Materials	20% of Lines 2 & 3	\$0		
6. Lower Tier Subcontractor/Supplier/Specialist Costs		\$3,761		
7. Mark-up	6% of Line 6	\$188		
8. SUBTOTAL (ADD LINES 4 - 7)			\$3,949	
9. Sub Bond			\$0	
10. TOTAL COST (ADD LINES 8 - 9)			\$3,949	

RUBECON LABOR

NAME	CLASSIFICATION	HOURS	RATE	TOTAL
				\$0
				\$0
				\$0
TOTAL LABOR COSTS				\$0

RUBECON MATERIALS

DESCRIPTION	UNIT TYPE	QTY	UNIT COST	EXTENDED TOTAL
				\$0
				\$0
				\$0
TOTAL MATERIAL COSTS (INCLUDES TAX AND/OR SHIPPING)				\$0

RUBECON EQUIPMENT RENTAL

SIZE AND TYPE	I.D. #	Weeks	RATE	TOTAL
				\$0
				\$0
				\$0
TOTAL EQUIPMENT RENTAL COSTS				\$0

SUBCONTRACTOR

DESCRIPTION		COST
Gachina Landscape Management - Install Backflow Prevention Device		\$3,761
TOTAL LOWER TIER SUB COSTS		\$3,761



Proposal

February 02, 2021

Work Order No. - 55012

Company Name: The Academy of Alameda

Property Name: Academy of Alameda

Property Address: 401 Pacific Ave
Alameda, CA 94501

Proposal Name: Irrigation upgrade - BACKFLOW - 2" - RP - LEAD FREE - FEBCO - 825Y INSTALL

Description of Work to be Performed

Issue	Photo	Detail Photo	Location	Corrective Action
Backflow install location? Or close to existing by sidewalk				2"

	Qty.	Unit Price	Total Price
Irrigation Repairs -			\$3,760.56
Irrigation Repair Services			\$3,760.56
Install a Backflow Prevention Device - 2" - BACKFLOW - 2" - RP - LEAD FREE - FEBCO - 825Y	1.00 EA	\$3,760.56	\$3,760.56
		Total	\$3,760.56

Do not remit payment. Invoice will be issued upon completion of work.

YOU AGREE TO PAY: \$3,760.56

A deposit for all projects over \$10,000 is required to cover material costs. The deposit payment must be received before work can start.

Client Billing Contact:

Client Billing Address:

Client Billing Email:

Preferred Invoice Method:

☐ Mail

☐ E-mail

☐ Portal Upload

Special Billing Requirements:

Please provide PO number if your company requires a PO for payment:

Invoice Terms: Net 10

Note: Send billing/invoicing questions to ar@gachina.com

<hr/>	<hr/>	<hr/>	<hr/>
Academy of Alameda	Date	Alvaro Molinero	2/2/2021 Date
Job#: 55012		Gachina Landscape Management	

This proposal is valid for 60 days from proposal date. Proposals may be canceled by either party within 72 hours after signing by written notification. Any restocking fees, returned good fees or any other fees demanded by material vendors shall be payable by client signee if cancellation notice is given after 72 hours of signing this proposal.

NOTICE: "Under the Mechanics' Lien Law, any contractor, subcontractor, laborer, supplier or other person who helps to improve your property but is not paid for his work or supplies, has the right to enforce a lien against your property. This means that, after a court hearing, your property could be sold by a court officer and the proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your own contractor in full, if the subcontractor, laborer, or supplier remains unpaid."

Do not remit payment. Invoice will be issued upon completion of work.

Connie Melovich

From: Silva, Valezka <vsilva@alamedaunified.org>
Sent: Wednesday, December 16, 2020 12:26 PM
To: German Duran
Cc: Lyng, Robbie; Marty Miller; Austin McNaughton; Andrew Washington; Kartamyshev, Vitaliy; Connie Melovich
Subject: Re: AoA Playground - Backflow Valve

Hi German,

Please provide pricing for backflow valve.

Thank you,
V.

Valezka Silva
Construction Project Manager
Alameda Unified School District
2060 Challenger Drive
Alameda, CA 94601
510.337.7000 | vsilva@alamedaunified.org

On Dec 16, 2020, at 11:57 AM, German Duran <German@rubecon.com> wrote:

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Valezka, Robbie,

Yesterday when Vitaliy was able to provide a temporary solution for our leak, he recommended we install a backflow valve. Rubecon is already doing work on this pipe per base contract, would you like us to proceed in pricing out installation of a backflow valve?

Thank you,

German Duran
Project Manager
Rubecon Builders, Inc.
3450 Third Street, Bldg 1B
San Francisco, CA 94124
T: (415) 206-7740 x 204 | C: (415) 890-5312