

Washington Elementary School

SUMMARY OF SCHOOL CAMPUS

- **Address:** 825 Taylor Ave, Alameda, CA 94501
- **Principal - Phone No. :** Judith Goodwin - (510) 748 4007
- **Year Built:** 1955
- **Total Site Area:** 2.60 acres
- **Building Area:** 52,210 sf
- **Portables:** None

FACILITY DESCRIPTION

Washington School was constructed in 1955 with no other additions in building area to the original floor plan, since then. Both the 2-story classroom wing, and the 1-story multi-purpose, administration wing are constructed on concrete foundation pads, with cast-in-place concrete post, floor, and shear wall, moment-frames throughout. It received a seismic retrofitting in 2001, as well as accessible barrier removal, restroom upgrades, an accessible elevator, re-painting, and fire alarm, telecom improvements. In 2007, Measure "C" funds provided HVAC, and Fire Alarm replacement, playground resealing, and additional electrical and lighting upgrades. This campus serves 266 (K-5) students with 24 classrooms, a multi-purpose/cafeteria/gym, library/ media center, administration offices with staff lounge, 2 computer labs, and a large asphalt playground.

STRUCTURAL OBSERVATIONS

The 2-Story concrete classroom building requires further structural analysis for several existing conditions. These include insufficient coupling beam support, excessive shear wall openings, and wall anchorage along the north and south facing walls. See a full report by ZFA Structural Engineers, of these conditions in the Appendix

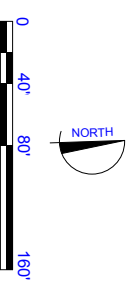
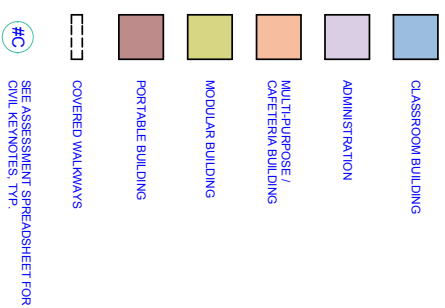
KEY ASSESSMENT ITEMS

- Playground asphalt exceeds cross-slope and is deteriorated

- Deteriorated wood trellis above Multi-Purpose entry
- Exterior windows, doors, roofing and wall finish has exceeded service life
- Play structure must be replaced with current District standard
- Interior wall floor and ceiling finishes have exceeded service life
- Multi-Use stage lacking accessible lift
- Cafeteria kitchen is not Health code compliant
- Mechanical equipment has exceeded service life

Alameda USD Facilities Assessment

4/30/2012



Washington Elementary School

Facility Assessment Spreadsheet

CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF Quantity	Unit	COST / UNIT	TOTAL COST	
1) Civil						\$947,873	
A) Existing Site Conditions							
i) ACCESS							
1	Existing Deficiency	ADA student drop off zone lacks unloading zone at pavement level, compliant ramp, and current signage. Cross slope of public street pavement exceeds 2%.	1C				
	Recommended Remedy	Saw cut and remove approximately 35 ft of existing curb, gutter, walk (5 ft wide), and existing pedestrian ramp. Install 5 ft wide unloading zone at pavement level, new curb, and ramp at east end per Caltrans standard. Patch flatwork as necessary. Update signage. No practical fix to excessive cross slope in public street.		263	SF	\$28	\$7,233
2	Existing Deficiency	ADA parallel stall in public street has excessive cross slope, no unloading zone at pavement level, and out of date signage.	2C				
	Recommended Remedy	Remove approximately 30 ft of existing curb and 5 ft of sidewalk. Install 5 ft of new pavement at grade, new curb, pedestrian ramp at east end, and upgrade signage, per Caltrans standard. No practical fix to excessive cross slope in public street.		240	SF	\$28	\$6,720
3	Existing Deficiency	No accessible entrance from public street to Head Start area at east end of school.	3C				
	Recommended Remedy	Remove existing walk and stairs leading to entrance. Replace with 30 ft (max) of ramp at 1:12 max with railings.		240	SF	\$28	\$6,720
4	Existing Deficiency	Cross slope on paved play court exceeds 2%.	4C				
	Recommended Remedy	Remove existing pavement, lower grade at east end by stairs/5% path. Lengthen path approximately 10 ft, and add another riser at bottom of stairs (all sides), and modify hand rails. Repave play court for 2% max slope.		7,500	SF	\$11	\$82,500

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED Quantity	TAKE OFF Unit	COST / UNIT	TOTAL COST	
5	Existing Deficiency Recommended Remedy	Area of steep cross slope on paved play court. Remove pavement in this area, and regrade to lower cross slope to 2%. Extend existing ramps and add level landings and ramps at other doors, parallel to building, down to new pavement grade. Repave and restripe.	5C	3,800	SF	\$10	\$38,000
6	Existing Deficiency Recommended Remedy	6.5% slope on POT from public street to school. Add handrails along both sides of path.	6C	90	LF	\$40	\$3,600
7	Existing Deficiency Recommended Remedy	Pavement is deteriorating. Fill cracks, seal coat, and restripe.	7C	55,200	SF	\$5	\$276,000
ii) FIRE/LIFE SAFETY/HAZ MAT							
1	Existing Deficiency Recommended Remedy	The interconnected nature of the buildings will likely result in a large fire area, and correspondingly high required fire flows, which the surrounding hydrants may not be able to meet. Consider adding fire sprinklers to existing buildings to reduce required fire flow.		52,210	SF	\$10	\$522,100
iii) UTILITIES							
1	Existing Deficiency Recommended Remedy	Backflow device on irrigation service does not appear to be of the reduced pressure variety. Replace backflow device with reduced pressure type per water company standard.	8C	1	EA	\$5,000	\$5,000
Architectural							
Exterior							
i) ACCESS							
1	Existing Deficiency Recommended Remedy	Taylor St. Access: Numerous trip hazards Repair/replace concrete walk	#1, #2, #7	220	SF	\$22	\$4,840
2	Existing Deficiency Recommended Remedy	Play Structure: Replace and add (1) new Play Structure, and (1) new Ball Wall Provide new playground equipment; add rubberized surface at (N) play structure		1	LS	\$75,000	\$75,000
\$2,240,680							

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ii) DEFERRED MAINTENANCE							
1	Existing Deficiency	All Cast-in Place Walls: shearwall cracking and paint deterioration	#3, #8, #9				
	Recommended Remedy	Restore concrete surface for new sealer/ and repaint entire campus		4,000	SF	\$9	\$36,000
2	Existing Deficiency	Alum. Window Wall: missing sills, bottom panels deteriorating, and single glazed	#10, #4, #20				
	Recommended Remedy	Replace all windows with Alum. frame & dual pane glass		13,800	SF	\$55	\$759,000
3	Existing Deficiency	Exterior doors beyond service life					
	Recommended Remedy	Replace all ext. doors with metal frame and FRP door		24	EA	\$4,400	\$105,600
4	Existing Deficiency	BUR roof at end of service life					
	Recommended Remedy	Replace all roofs with new 30-yr BUR w/ Cool roof coating		52,210	SF	\$9	\$469,890
5	Existing Deficiency	No Trash Enclosure at this Site					
	Recommended Remedy	Install a 2-Bin Trash Enclosure per Health Dept. standards		1	LS	\$15,000	\$15,000
6	Existing Deficiency	Multi-Use Entry: overhead wood trellis dry rot	#5				
	Recommended Remedy	Remove wood beam trellis complete. Patch all anchor holes		850	SF	\$6	\$5,100
7	Existing Deficiency	Exterior wall-mounted conduit and boxes: extensive rusting.	#11				
	Recommended Remedy	Add U.G. conduit and pullboxes in playground before paving, for expansion of data/power/ signal systems	ALLOW	1	LS	\$75,000	\$75,000
B) Interior							
i) GENERAL & MAINTENANCE							
1	Existing Deficiency	2-Story Seismic Gap: water damage and shear cracking.	#15				
	Recommended Remedy	Replace with (N) expansion cover		48	LF	\$60	\$2,880
2	Existing Deficiency	Classroom/ Corridor flooring at end of service life	NA				
	Recommended Remedy	Replace all flooring with resilient flooring, and walk-off Entry carpet mat.		52,210	SF	\$5	\$261,050

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED Quantity	TAKE OFF Unit	COST / UNIT	TOTAL COST
3 Existing Deficiency Recommended Remedy	Deteriorated interior painted walls and trim finish Repaint all interior walls, trims, doors, and other painted items	NA	52,210	SF	\$2	\$104,420
4 Existing Deficiency Recommended Remedy	Multi-Purpose Room: No ADA Stage access Add built-in place Accessible lift	NA	1	LS	\$20,000	\$20,000
5 Existing Deficiency Recommended Remedy	Multi-Purpose Kitchen: Does not meet current Health Code Remove walk-in; Remodel complete w/ all new equipment; install epoxy floor/cove base and FRP wall panels	#21, #22	1,200	SF	\$120	\$144,000
6 Existing Deficiency Recommended Remedy	Classrooms: No Marker boards Install new Marker Boards	NA	23	EA	\$500	\$11,500
7 Existing Deficiency Recommended Remedy	South Window Wall: Heat gain with no A/C system Provide window shade treatment at south windows	ALLOW	1,800	SF	\$12	\$21,600
8 Existing Deficiency Recommended Remedy	All Corridors: exposed conduit, boxes for data, signal and power. Add suspended acoustic ceiling with drop in fixtures	#14	7,600	SF	\$14	\$106,400
9 Existing Deficiency Recommended Remedy	Main Entry Lobby: drink fountain is non-accessible; Fire hose is not allowed. Replace D. fountain, and remove fire hose.	#16	1	LOT	\$15,000	\$15,000
10 Existing Deficiency Recommended Remedy	Kindergarten Staff Rm: Kitchen sink is non-accessible Replace cabinets, sink, appliances, add exhaust fan	#17	12	LF	\$700	\$8,400

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF Quantity	Unit	COST / UNIT	TOTAL COST
3) Mechanical / Plumbing						\$463,620

A) Exterior

i) SITE SYSTEMS						
1	Energy Management	campus energy management system does not exist				
	Recommended Remedy	add campus wide ddc control and create district standard for energy control systems	52,210	SF	\$2	\$104,420
2	Existing Plumbing	overall plumbing systems are in good condition w/ upgrades to waterless urinals and sensor activated faucets. However maintenance is lacking, as restrooms are very odorous				
	Recommended Remedy	Replace waterless urinals, and increase ventilation requirements	2,300	SF	\$10	\$23,000

B) Interior

i) ACCESS						
1	Existing Deficiency	N/A				
ii) EXISTING SYSTEMS						
1	Existing Systems	central plant; boilers and piping are 1991 circa, and are inefficient. District has requested removal of all boiler systems completely.				
	Recommended Remedy	replace boilers, pumps, and central plant to high efficiency rooftop packaged ac equipment. Remove boilers, pumps, piping and all related equipment.	50,000	SF	\$2	\$100,000
2	Existing Deficiency-hallways	unit ventilators in hallways are in fair condition, but will be obsolete with removal of hot water system.				
	Recommended Remedy	remove and replace with ductless split heat pumps	7,600	SF	\$7.00	\$53,200
3	Existing Deficiency-kitchen	make up air unit at kitchen is original equipment				
	Recommended Remedy	replace with gas fired make up air unit, reznor or equal	1,500	SF	\$22	\$33,000
4	Existing Deficiency-Multi use bld	air handler and ductwork are original equipment and have exceeded design life.				
	Recommended Remedy	replace air handler, clean duct, rebalance system, add co2 sensor and outside air control	50,000	SF	\$3	\$150,000

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5	Existing Deficiency-Admin Recommended Remedy	unit ventilators are in good condition, overhead ducting also exists in remove unit ventilators, replace ac units with new rooftop packaged ac units, clean duct systems and rebalance.	50,000	SF	\$1.50	\$75,000
6	Existing Deficiency-Kindergarten Recommended Remedy	rooftop units are in good condition clean ductwork, rebalance system	50,000	SF	\$0.40	\$20,000
7	Existing Deficiency- Recommended Remedy	Water Heater at end of service life	1	LS	\$4,000.00	\$4,000
8	Existing Deficiency- Recommended Remedy	Replace gas water heater Exterior: No hose bibbs and Gas Main lacking seismic coupler	1	LS	\$5,500.00	\$5,500
4)	Electrical Recommended Remedy	Add (8) hose biis and gas main coupler	1	LS	\$5,500.00	\$5,500
\$282,408						

A) General

i)	EXISTING SYSTEMS	
	Existing System	School Modernization in 2007 included upgrades to electrical service , tele communication, clock, security, and fire alarm systems. No cable TV Service. Emergency lighting inverter (60amp, 120v) provides backup power to selected lighting circuits, per staff. Cell phone site on roof.

B) Mandatory

i)	EXTERIOR LIGHTING	
	Existing System	Exterior building lighting provided by wallpacks and floodlights, surface square dropped lens at covered walkways.
1	Existing Deficiency	Inadequate exterior lighting provided, walkways dark as noted by staff.
2	Recommended Remedy	Add exterior walkway and building fixtures at east alley
	Existing Deficiency	No exterior emergency lighting provided for emergency egress.
	Recommended Remedy	Add exterior battery pack fixtures for minimum code coverage

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED Quantity	TAKE OFF Unit	COST / UNIT	TOTAL COST
c) Deferred Maintenance							
i) FIRE ALARM / DETECTION							
Existing System		Simplex control and expander panels, strobes, detectors are recent system upgrades					
1	Existing Deficiency	Simplex panel is not preferred manufacturer					
	Recommended Remedy	Replace fire alarm panel with district preferred manufacturer (Firelite)		1	EA	\$18,000	\$18,000
ii) TELEPHONE/DATA SYSTEM							
Existing System		Rack mounted Rauland telephone system upgrade					
1	Existing Deficiency	Rauland panel is not preferred manufacturer					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		1	EA	\$58,000	\$58,000
2	Existing Deficiency	Classrooms; lacking data and power drops					
	Recommended Remedy	Provide (6) power and data drops at each classroom		23	EA	\$450	\$10,350
		Add (6) data outlets to each classroom (6x24classrooms)		144	EA	\$350	\$50,400
3	Existing Deficiency	Surface raceway in several locations has broken pieces.					
	Recommended Remedy	Replace broken raceway		50	LF	\$15	\$750
4	Existing Deficiency	Add data distribution equipment, including fiber optic panels, patch panels, switches and wireless data transmitters, to accommodate new data outlets note above					
	Recommended Remedy	Add data distribution equipment to activate all data outlets		6	EA	\$1,500	\$9,000
iii) BELL/CLOCK/SPEAKER SYSTEM							
Existing System		Rack mounted Rauland bell/clock/speaker system is recent upgrade					
1	Existing Deficiency	Clocks have been faulty, many replaced, according to staff.					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		15	EA	\$300	\$4,500
2	Existing Deficiency	Rauland panel is not preferred manufacturer					
	Recommended Remedy	Replace Rauland system with one preferred by District, as noted above in Tele/Data systems.		1	EA	\$12,000	\$12,000

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED Quantity	TAKE OFF Unit	COST / UNIT	TOTAL COST
iv) INTERIOR LIGHTING							
	Existing System	Surface wraparound 1x4 fluorescent fixtures in typical classrooms, offices, & hallways Surface wraparound 2x4 fluorescent fixtures in Multi Purpose room, floodlights at stage.					
1	Existing Deficiency	Fixtures appear to be older, with T8 or T12 lamps and magnetic ballasts.					
	Recommended Remedy	Replace with energy efficient T5 lamps and electronic ballast fixtures.		52,210	SF	\$1.40	\$73,094
2	Existing Deficiency	Fixtures observed with broken or missing lenses.					
	Recommended Remedy	Replace with new fixtures		10	EA	\$25	\$250
3	Existing Deficiency	Some occupancy sensors observed, local room switches are typical classroom and office lighting controls					
	Recommended Remedy	Replace toggle switches with ultrasonic/infrared room occupancy sensors		52,210	SF	\$0.35	\$18,274
v) EXIT SIGNS							
	Existing System	Exit signs and dual head battery packs observed. Low level exit signs in several areas.					
1	Existing Deficiency	Fixtures observed with broken or missing lenses.					
	Recommended Remedy	Replace exit signs		6	EA	\$440	\$2,640
2	Existing Deficiency	Inadequate number of emergency egress fixtures were observed, according to staff inverter provides emergency backup power for egress lighting.					
	Recommended Remedy	Add dual head battery packs at egress paths		8	EA	\$375	\$3,000
vi) POWER							
1	Existing Deficiency	In some areas, ie. media center, classrooms, offices, plastic surface raceway is broken and hanging loose from walls, with data and power cables exposed.					
	Recommended Remedy	Replace broken raceways		100	LF	\$20	\$2,000
2	Existing Deficiency	In some areas, devices are missing coverplates with data or power cables exposed.					
	Recommended Remedy	Replace coverplates		10	EA	\$15	\$150

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED QUANTITY	TAKE OFF UNIT	COST / UNIT	TOTAL COST
3 Existing Deficiency	Inadequate power distribution for receptacles for data system as noted above					
Recommended Remedy	For added receptacles noted above, install new panelboard (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeder from switchboard		2	EA	\$4,700	\$9,400
5) Structural						\$116,500

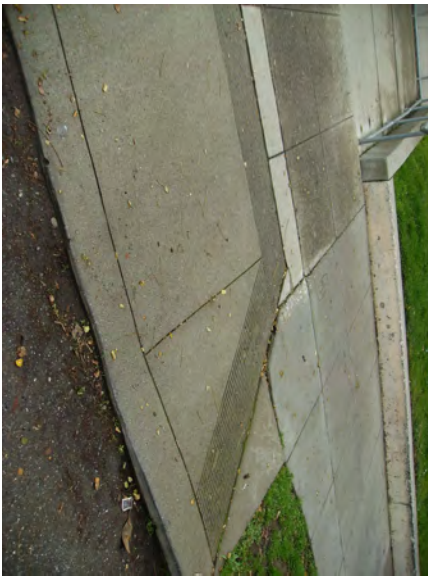
A) Exterior

1 Existing Deficiency	Visible diagonal cracking at west classroom 2 story concrete shear wall					
Recommended Remedy	Monitor cracking; Repair/patch	ALLOW	1	EA	\$12,000	\$12,000
2 Existing Deficiency	Vertical Discontinuity at 2 story classroom, transverse 2nd story shear wall does not align with wall below					
Recommended Remedy	Bolted channel collector assembly	ALLOW	1	EA	\$80,000	\$80,000
3 Existing Deficiency	Multi-Purpose room: Existing roof to wall anchorage provided in voluntary seismic retrofit does not develop into diaphragm					
Recommended Remedy	Add blocking, threaded rod, and strapping		25	EA	\$500	\$12,500
4 Existing Deficiency	Openings at shear walls					
Recommended Remedy	Additional structural analysis (fee only)		1	LS	\$4,000	\$4,000
5 Existing Deficiency	Insufficient coupling beam support at 2 story concrete classroom building					
Recommended Remedy	Additional structural analysis (fee only)		1	LS	\$8,000	\$8,000
6 Existing Deficiency	Wall anchorage along north and south facing walls is not adequate - see ZFA report					
Recommended Remedy	Improve Anchorage		50	EA	\$500	\$25,000

* NEEDS FURTHER INQUIRY FOR ACCURATE ESTIMATE

SUB-TOTAL	\$4,051,080
SOFT COSTS @ 25%	\$1,012,770
TOTAL COSTS (not including escalation)	\$5,063,850

WASHINGTON ES



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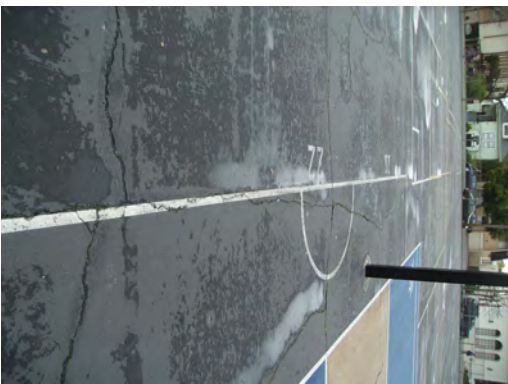
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